



FUSS & O'NEILL

September 5, 2018

Town Clerk and Zoning Board of Appeals
Town of Plainfield
304 Main Street
Plainfield, MA 01070

RE: Application for Special Permit
Zoning Board of Appeals
Cultivation Facility, 27 Broom Street

Dear Members of the Board:

On behalf of 27 Broom Street LLC, Fuss & O'Neill is submitting an Application for Special Permit to the Town Clerk and the Zoning Board of Appeals for the construction of a cultivation facility located at 27 Broom Street in Plainfield, Massachusetts. The project includes the construction of an approximately 16,000 square foot building with on-site parking, pedestrian sidewalks, stormwater management system, on-site septic system, fenced and secured outdoor grow area, and other site amenities.

The building is a one-story building that includes a processing area and four (4) greenhouses. The building will be serviced by an on-site well and a proposed on-site septic system. The outdoor grow area will be approximate 3 acres and will be a fully secured in accordance with current State Regulations for Open Cultivation Facilities.

Submission materials include 8 copies of the following:

- Zoning Board of Appeals, Plainfield, Massachusetts 01070, Application for Variance, Special Permit or Exception, or Appeal
- Fee Check for ZBA Special Permit: Payable to The Town of Plainfield
- Figure 1, Site Location Map
- Certified Abutters List and Abutters Notification
- Traffic Study Wavier Request
- Site Plans titled, "Cannabis Cultivation Facility", dated September 5, 2018.
- Architectural Plan titled, "Programing Plan," dated September 5, 2018
- Architectural Plan titled, "Schematic Exterior Elevations," dated September 5, 2018

1550 Main Street
Suite 400
Springfield, MA
01103
t 413.452.0445
800.286.2469
f 413.846.0497

www.fando.com

California

Connecticut

Maine

Massachusetts

New Hampshire

Rhode Island

Vermont

\\\\private\\dfs\\ProjectData\\P2018\\0716\\A10\\Permitting\\ZBA-Special Permit\\Application Cover Page.docx
Corres.



FUSS & O'NEILL

Town Clerk and Zoning Board of Appeals

September 5, 2018

Page 2

We look forward to meeting with Town and local residents to present and discuss the project. Please do not hesitate to contact us if you have any question.

Sincerely,

Aimee Bell
Project Engineer

Reviewed by:

Timothy J. St. Germain, P.E.
Senior Vice President

c: Christopher Roos - 27 Broom Street LLC



Zoning Board of Appeals

Plainfield, Massachusetts 01070

APPLICATION FOR VARIANCE, SPECIAL
PERMIT OR EXCEPTION, OR APPEAL

Application No. _____

Date of Public Hearing _____

To the Town Clerk
Plainfield, Massachusetts:

Pursuant to the provisions of Chapter 40A of the General Laws of the Commonwealth of Massachusetts and the Zoning By-laws of the Town of Plainfield, application is hereby made to the Zoning Board of Appeals for:

(check one) _____ Variance ☒ Special Permit or Exception

_____ Appeal from a decision of the Building Inspector or
other administrative officials.

to do the following: construct an approximately 16,000 square foot cultivation,
including processing area and green house. The project includes on-site
parking, pedestrian sidewalks, stormwater drainage, fenced and secured
outdoor grow area, septic system, and other site amenities.

on premises located at 27 Broom Street 237/022.0-0000-0001.0
(street address) (Map and Parcel No.) (Zoning Dist.)
owned by 27 Broom Street LLC of 26 Brookside Dr.,
(name of owner) (address of owner)
Feeding Hills, MA 01030

Signature of Applicant CR
Name of Applicant Christopher Roos
27 Broom Street LLC Representative
(print or type)
Address of Applicant 26 Brookside Dr.,
Feeding Hills, MA 01030
Telephone No. of Applicant 413-335-6473

TO BE FILLED OUT BY THE TOWN CLERK

Received by the Town Clerk on _____
(date)

Fee Paid - - - Amount \$ _____

Copy transmitted to the Zoning Board of Appeals on _____
(date)

27 Broom Street, LLC

514

53-8598/2118

Date 8/31/18

CHECK ARMOR
TRADE PROTECTION

PAY to the
order of

The Town of Plainfield

\$ 2,183.60

Two Thousand One Hundred Eighty Three & 60/100

Dollars

Photo
Safe
Deposit®
Details on back

Freedom
CREDIT UNION

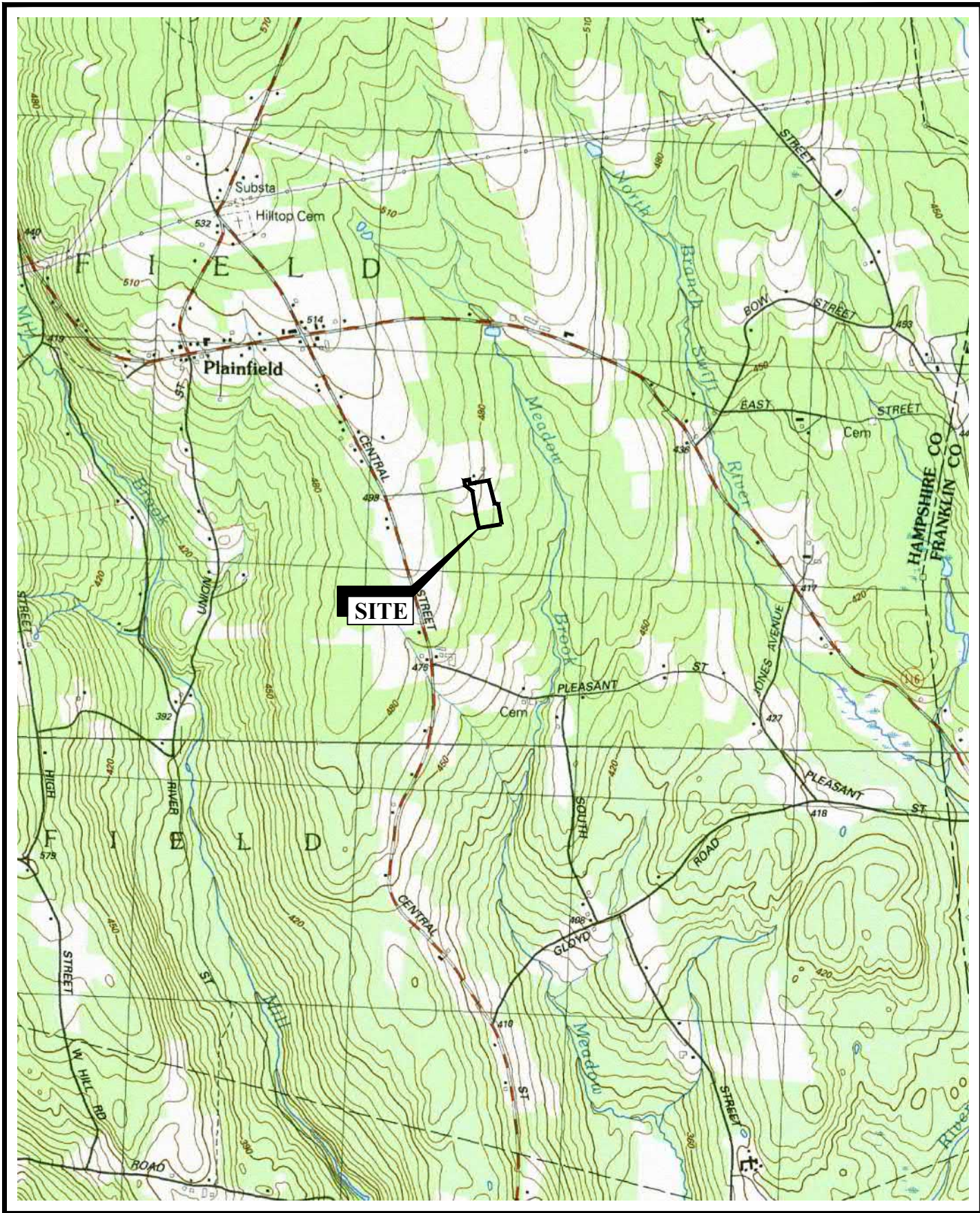
1978 Main Street
Springfield, MA
(413) 732-6961
(800) 521-0180

FOR Special Permit Application Fee

Cross

⑈000514⑈ ⑆211885988⑆

1006312960⑈



SCALE:	
HORZ.: 1"=2000'	
VERT.:	
DATUM:	
HORZ.:	
VERT.:	
0 1000 2000	
GRAPHIC SCALE	



FUSS & O'NEILL

1550 MAIN STREET, SUITE 400
 SPRINGFIELD, MA 01103
 413.452.0445
 www.fando.com

27 BROOM STREET LLC

SITE LOCATION MAP

27 BROOM STREET
 CANNABIS CULTIVATION FACILITY

PLAINFIELD

MASSACHUSETTS

PROJ. No.: 20180716.A10
 DATE: 09/05/2018

FIG. 01



BOARD OF ASSESSORS
PLAINFIELD, MASSACHUSETTS 01070
Phone 413-634-5420

August 29, 2018

Certified Abutters List for property within 300 feet of property owned by 27 Broom Street LLC. shown on the Plainfield assessors' map 22 lot 1, located on Broom Street in Plainfield MA.

Map 22 Parcel 3	Gardner, Derek P & Beth Marie 109 East Main Street Plainfield, MA 01070 Bk 8342 Pg 291.
Map 22 Parcel 11	Kalagher, Michael J PO Box 40 Plainfield, MA 01070 Bk 11362 Pg 158
Map 22 Parcel 13	Estate of Arthur C Thatcher C/O Arlene Snape 6 Bofat Hill Road Williamsburg, MA 01096 Bk 1341 Pg 355
Map 21 Parcel 18	Thatcher, Dennis & Theresa 12 Broom Street Plainfield, MA 01070 Bk 4071 Pg 130
Map 22 Parcel 1.1	Shippee, Matthew A 19 Broom Street Plainfield, MA 01070 Bk 9054 Pg 125

Map 16 Parcel 18 27 Broom Street LLC
268 Forest Hills Road
Springfield, MA 01128
Bk 8966 Pg 284

Map 21B Parcel 7 Laszczyk, Steven, Michael, Richard & Alan
789 Dewy Street
West Springfield, MA 01089
Bk 3836 Pg 76

Map 21B Parcel 8.2 Wooldridge, Roberta D & Jamie M
63 South Central Street
Plainfield, MA 01070
Bk 12556 Pg 195

Map 21B Parcel 8 Nelson, Alexandra N
71 South Central Street
Plainfield, MA 01070
Bk 7439 pg 263

Catherine Hall

Catherine Hall

Assistant Assessor

Town of Plainfield

Notification to Abutters

In accordance with the Town of Plainfield Zoning Bylaws, you are hereby notified of the following:

- A. The name of the applicant is **27 Broom Street LLC**
- B. The applicant has filed an **Application for Special Permit** with the Town of Plainfield Zoning Board of Appeals for the Applicant, whom is seeking permission to remove, fill, dredge or alter an Area Subject to the Zoning Bylaws.
- C. The address of the lot where the activity is proposed is: **27 Broom Street**
- D. Copies of the **Application for Special Permit** may be examined at the Plainfield Town Offices, 304 Main Street, Plainfield, MA, during regular business hours (Wednesday 9:00 a.m.-12:00 p.m. and Thursday s 6:00p.m.-8:00 p.m.). For information call: 413-634-5420
- E. Brief description of project: **Construction of a cannabis cultivation facility, including 16,000 square foot building, fully fence and secured out door grow area, parking, stormwater management, onsite septic system and other site amenities.**
- F. The Zoning Board of Appeals will hold a public hearing for this project. Please confirm the date time, and place of the public hearing by contacting the Town Clerk at telephone number: 413-634-5420, Wednesdays 9:00 a.m.-12:00 p.m. and Thursdays 6:00p.m.-8:00 p.m.

(check one) This is the applicant _____ representative **X** or other __ (specify): Fuss & O'Neill, Inc.

Notice of the public hearing, including its date, time and place, will be published in advance in the Daily Hampshire Gazette and will be posted in the Town Offices 14 days in advance.
You may also contact the Town of Plainfield Zoning Board of Appeals.



FUSS & O'NEILL

September 5, 2018

Zoning Board of Appeals
Town of Plainfield
304 Main Street
Plainfield, MA 01070

RE: Traffic Study Waiver Request
Application for Special Permit
Cultivation Facility, 27 Broom Street

Dear Members of the Board:

On behalf of 27 Broom Street LLC, Fuss & O'Neill would like to request a waiver from the requirement of a traffic study and plan as required in Section 1.121 of the "Town of Plainfield Zoning Board of Appeals Rules and Regulations."

The project includes the construction of an approximately 16,000 square foot cultivation facility located at 27 Broom Street in Plainfield, Massachusetts. The development includes on-site parking, pedestrian sidewalks, stormwater management, septic system, fenced and secured outdoor grow area, and other site amenities.

Once construction is complete and the facility is fully operational, it is anticipated the facility will have approximately 15 workers. The facility is not open to the public for retail. There will be small box truck leaving the site occasionally to received and deliver materials. It is anticipated the project will create a minimal amount of traffic. Fuss & O'Neill believes the facility will not have an adverse impact on the existing traffic within the area.

Please do not hesitate to contact us if you have any question.

Sincerely,

Aimee Bell
Project Engineer

Reviewed by:

Timothy J. St. Germain, P.E.
Senior Vice President

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California
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Vermont

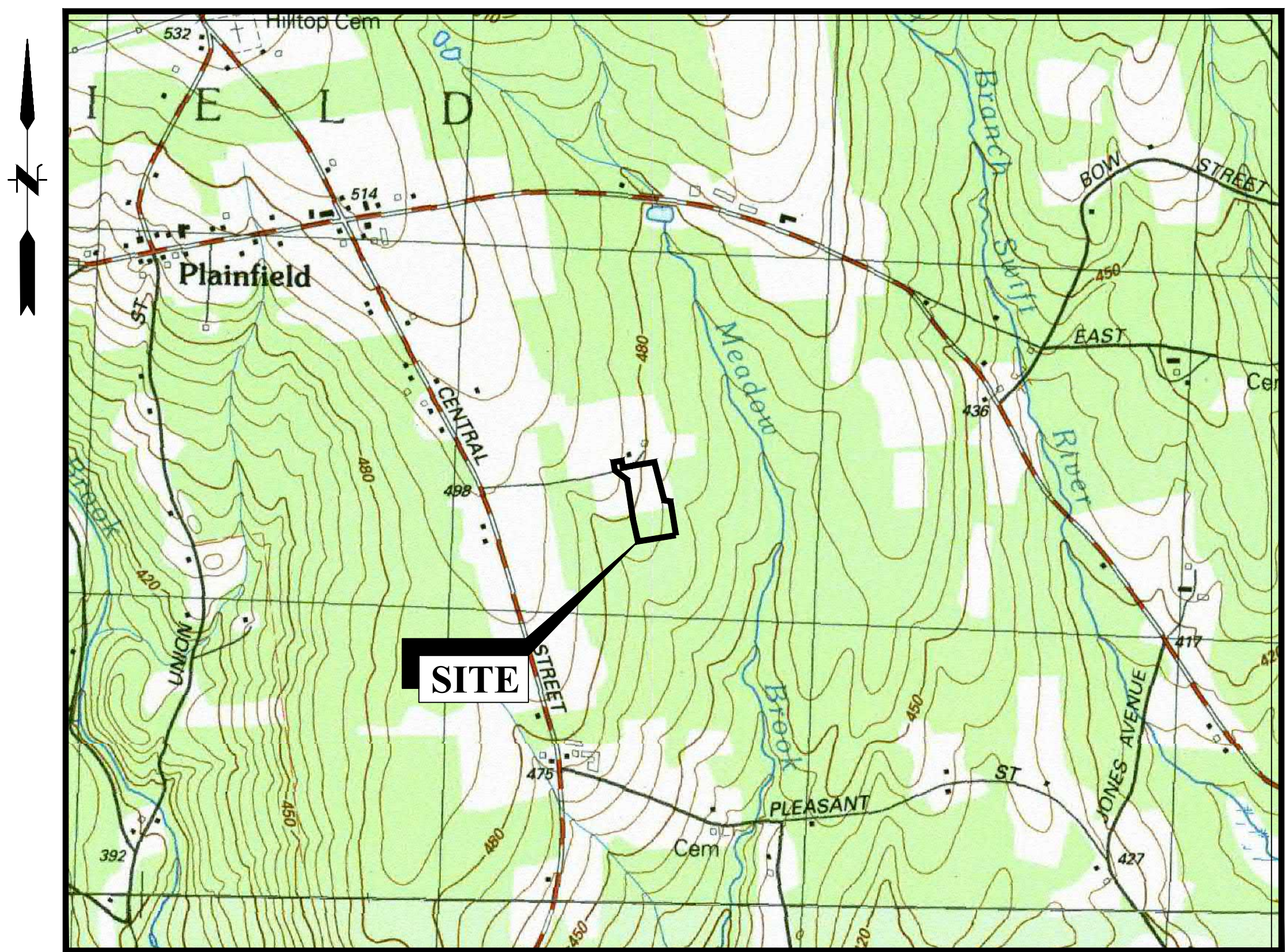
c: Christopher Roos – 27 Broom Street LLC

\\private\dfs\ProjectData\P2018\0716\A10\Permitting\ZBA-Special Permit\Traffic Study Waiver Request.docx
Corres.

CANNABIS CULTIVATION FACILITY

27 BROOM ST · PLAINFIELD · MASSACHUSETTS

SEPTEMBER 05, 2018



LOCATION MAP
SCALE: 1" = 1000'

DUE DILIGENCE WORKSHEET			
Environmental Resources			
WETLANDS INVESTIGATION	Joshua Wilson 08/02/2018		
VERNAL POOL(S)?	NONE		
WETLANDS	POTENTIAL 100' WETLAND BUFFER		
WETLANDS OF SPECIAL SIGNIFICANCE?	NONE		
FLOODPLAIN	NONE	FLOOD HAZARD BOUNDARY MAP 01-09	TOWN OF PLAINFIELD, MA COMMUNITY NO. 250198A
PREVIOUS NHDES WETLANDS APP?	NO		
RARE SPECIES PRESENT?	NONE	MESA Mapping	OLIVER 08/21/2018
DATABASE REQUESTS	not applicable	NHFS Y/N	USFWS Y/N
ARCHAEOLOGY	Y/N/UND	not applicable	DATABASE SURVEY
HISTORIC STRUCTURES	Y/N/UND	not applicable	DATABASE SURVEY

ZONING REVIEW		
Parking Summary Chart		
1.3 space per 1000 sf GFA and 1.3 spaces per employee-site parking generation book		
Description	Required	Provided
STANDARD PARKING SPACES	23	23
MIN. # HANDICAPPED - STD.	1	1
MIN. # HANDICAPPED - VAN	1	1
TOTAL PARKING SPACES REQUIRED	23	23
LOADING SPACE	N/A	N/A
Zoning Summary Chart		
Zoning District	Rural Residential/Agricultural	
Zoning Regulations and Requirements	Required	Provided
LOT SIZE	3 acres (30,680 SF)	39 acres
MINIMUM LOT FRONTAGE	300 feet	> 300 ft
FRONT YARD SETBACK	50 feet	123 feet
SIDE YARD SETBACK	50 feet	439 feet
REAR YARD SETBACK	50 feet	> 50 ft
MAX. BUILDING HEIGHT	35 feet	< 35 ft

Site Checklist			
Project Information			
Land Information			
PARCEL #1 (237022 0-0000-001.0)	not completed		
BOUNDARY SURVEY STATUS	HERITAGE SURVEYS 08/02/18		
TOPOGRAPHICAL SURVEY STATUS	not completed		
PROPERTY LINES	HERITAGE SURVEYS 08/02/18		
TOPOGRAPHY	not completed		
AERIAL PHOTO DATE	N/A		
OVERLAY DISTRICTS	1		
Permitting			
LOCAL PERMITTING	Business Use Permitted-Commercial Greenhouse - Special Permit		
SPECIAL EXCEPTION	Zoning Board of Appeals		
ZONING VARIANCE	none		
ACCESS PERMIT	none		
MAJOR ROAD JURISDICTION	no		
MINOR ROAD JURISDICTION	no		
TYPE OF ROW	Town		
CURB CUT PERMIT REQUIRED?	YES	NO	
DRIVEWAY PERMIT REQUIRED?	YES	NO	
TRAFFIC STUDY REQUIRED?	YES	NO	
SIGNAL WARRANTED?	YES	NO	
OFF SITE IMPROVEMENTS REQUIRED?	YES	NO	
Utility Information			
NATURAL GAS AVAILABILITY	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> TBD*
ELECTRIC AVAILABILITY	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> TBD*
TELEPHONE AVAILABILITY	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> TBD*
CABLE AVAILABILITY	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> TBD*
WATER AVAILABILITY (WELL)	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> TBD*
SEWER AVAILABILITY	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> TBD*
* TBD: TO BE DETERMINED			

SHEET INDEX

SHEET No.	SHEET TITLE
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C1.10	SITE PREPARATION & DEMOLITION PLAN
C1.20	SITE LAYOUT PLAN
C1.30	GRADING AND DRAINAGE PLAN
C1.40	UTILITY PLAN
C3.00	EROSION AND SEDIMENT CONTROL DETAILS
C3.01-C3.04	CONSTRUCTION DETAILS
L1.10	PLANTING PLAN

PREPARED FOR
27 BROOM STREET LLC
26 BROOKSIDE DRIVE
FEEDING HILLS, MA



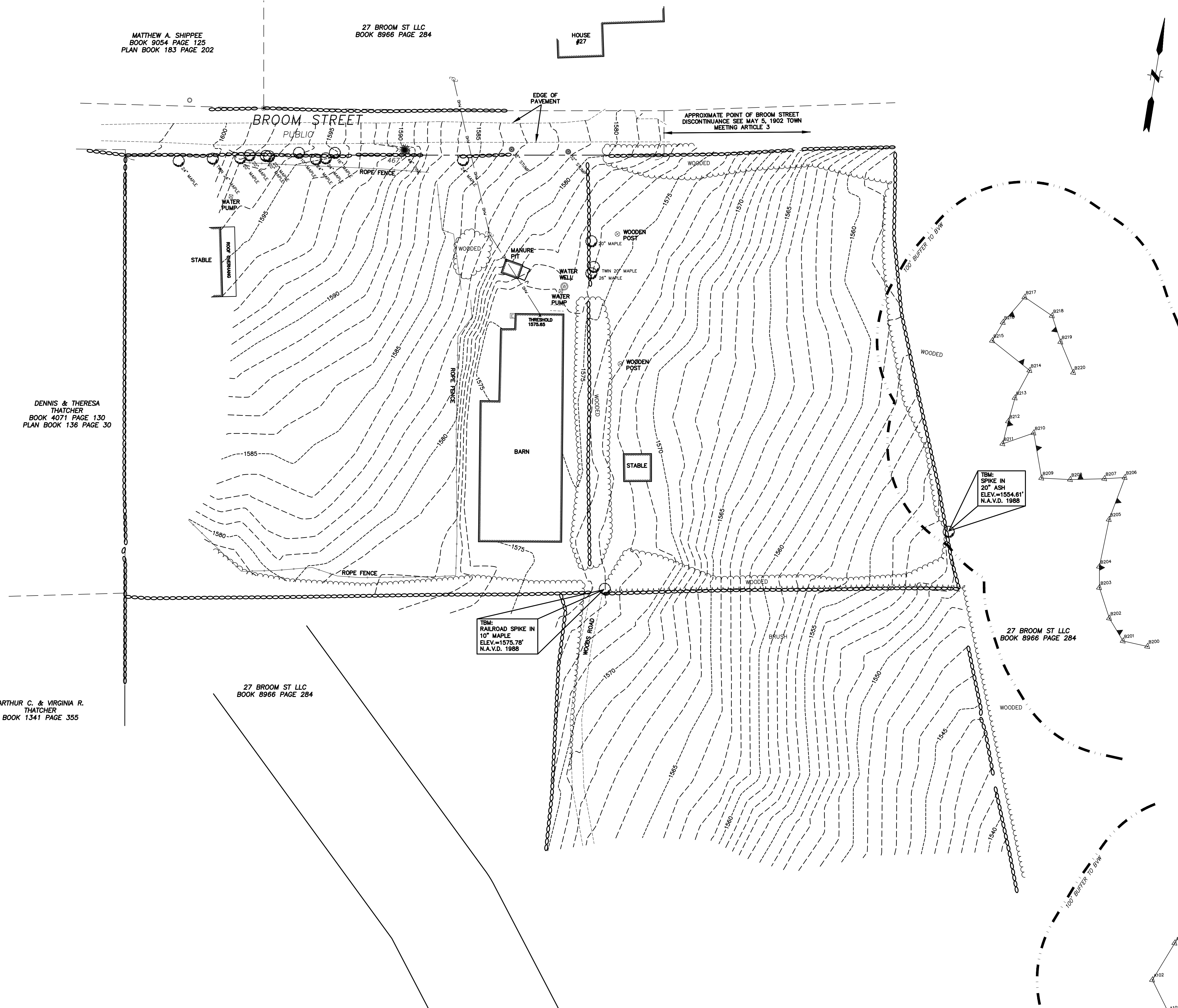
PREPARED BY
FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
413.452.0445
www.fando.com

PROJ. No.: 20180716.A10
DATE: 09/05/2018

C0.00

NOT FOR CONSTRUCTION

ARTHUR C. & VIRGINIA R.
THATCHER
BOOK 1341 PAGE 355



MAP REFERENCE

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN ARE BASED ON A PLAN ENTITLED: TOPOGRAPHICAL PLAN OF LAND IN PLAINFIELD, MASSACHUSETTS, SURVEYED FOR FUSS & O'NEILL, INC. REVISED THROUGH: AUGUST 2, 2018 AND BASED UPON HERITAGE SURVEYS, INC. REGISTERED PROFESSIONAL LAND SURVEYORS; COLLEGE HIGHWAY & CLARK STREET, POST OFFICE BOX 1, WESTAMPTON, MASSACHUSETTS, JOB # 7778-180011, DWG # 7778f60d1, MAP # 7778-180802.
2. TOPOGRAPHIC ELEVATIONS ARE BASED ON 1980 N.A.S.D.
3. VERTICAL BENCHMARK: R.R. SPIKE IN 70' MAPLE
SPIKE IN 20" ASH
ELEV.=1554.61' ELEV.=1575.78'
4. WETLANDS WERE Delineated BY FUSSE & O'NEILL ON AUGUST 2, 2018.

GENERAL NOTES

1. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE WITH SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SITE SURVEY DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
2. DO NOT RELY SOLELY ON ELECTRONIC VERSIONS OF DRAWINGS, SPECIFICATIONS, AND DATA FILES THAT ARE PROVIDED BY THE ENGINEER. FIELD VERIFY LOCATION OF PROJECT FEATURES.
3. PERFORM NECESSARY CONSTRUCTION NOTIFICATIONS, APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK AS REQUIRED BY THE CONTRACT DOCUMENTS.
4. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDINGS AND LAND SITE ELEVATIONS, DRIVEWAYS, RAMPS, CONCRETE DRIVE ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CURBS, DRIVE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. LOCATION OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD, INFORMATION PROVIDED BY THE CITY OF LEBANON, AND ANY OTHER AVAILABLE SOURCES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF ALL UTILITIES WHICH MAY EXIST AT THIS TIME WITHIN THE BIDDING AREAS. THE UTILITY LOCATIONS SHOWN ARE VERIFIED AND THE RESPECTIVE UTILITY COMPANY BEFORE BEING RELEED UPON. ALL FIELD CHANGES MUST BE APPROVED BY THE ENGINEER.
6. LOCATION AND INVERTS OF EXISTING UTILITIES SHALL BE VERIFIED WITH THE ENGINEER PRIOR TO CONSTRUCTION. ALL FIELD CHANGES MUST BE APPROVED BY THE ENGINEER.
7. FUSS & O'NEILL MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. FUSS & O'NEILL MAKES NO GUARANTEE THAT THE UTILITIES SHOWN ARE VERIFIED AND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. FUSS & O'NEILL HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL CALL DIG SAFE SYSTEMS FOR GUIDANCE.

REGULATORY REQUIREMENTS

1. APPROVED PLANS SHALL BE ON SITE AT ALL TIMES.
2. WITHIN LOCAL RIGHTS-OF-WAY, PERFORM THE WORK IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARDS.
3. THE CONTRACTOR IS RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. PERFORM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
4. DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
5. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND OR IS A PHASE OF A LARGER PROJECT THAT DISTURBS MORE THAN AN ACRE AND REQUIRES THE COMPLETION OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE FILING OF A CONSTRUCTOR GENERAL PERMIT (CGP). THE SWPPP SHALL REMAIN ON SITE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR THE FILING OF THE CGP.
6. CALL DIG-SAFE 811 OR 1-888-DIG-SAFE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.

LEGEND

- | | |
|--|---|
| | PROPERTY LINE |
| | ABUTTERS PROPERTY LINE |
| | EXISTING STONE WALL |
| | EXISTING TREE LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING ROAD |
| | OVERHEAD WIRES |
| | ROPE FENCE |
| | WETLAND BOUNDARY –
BORDERING VEGETATED WETLAND |
| | 100' BUFFER TO WETLAND |
| | WETLAND FLAG |
| | DECIDUOUS TREE |
| | PINE TREE |
| | WATER WELL |
| | WATER PUMP |

NOT FOR CONSTRUCTION

[illegible]

SCALE:

HORIZ.: 1"=40'

VERT.:

DATUM:

HORIZ.:

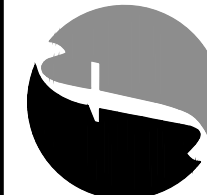
VERT.:

40 20 0 40

GRAPHIC SCALE

FUSS & O'NEILL

1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
413.452.0445
www.fando.com

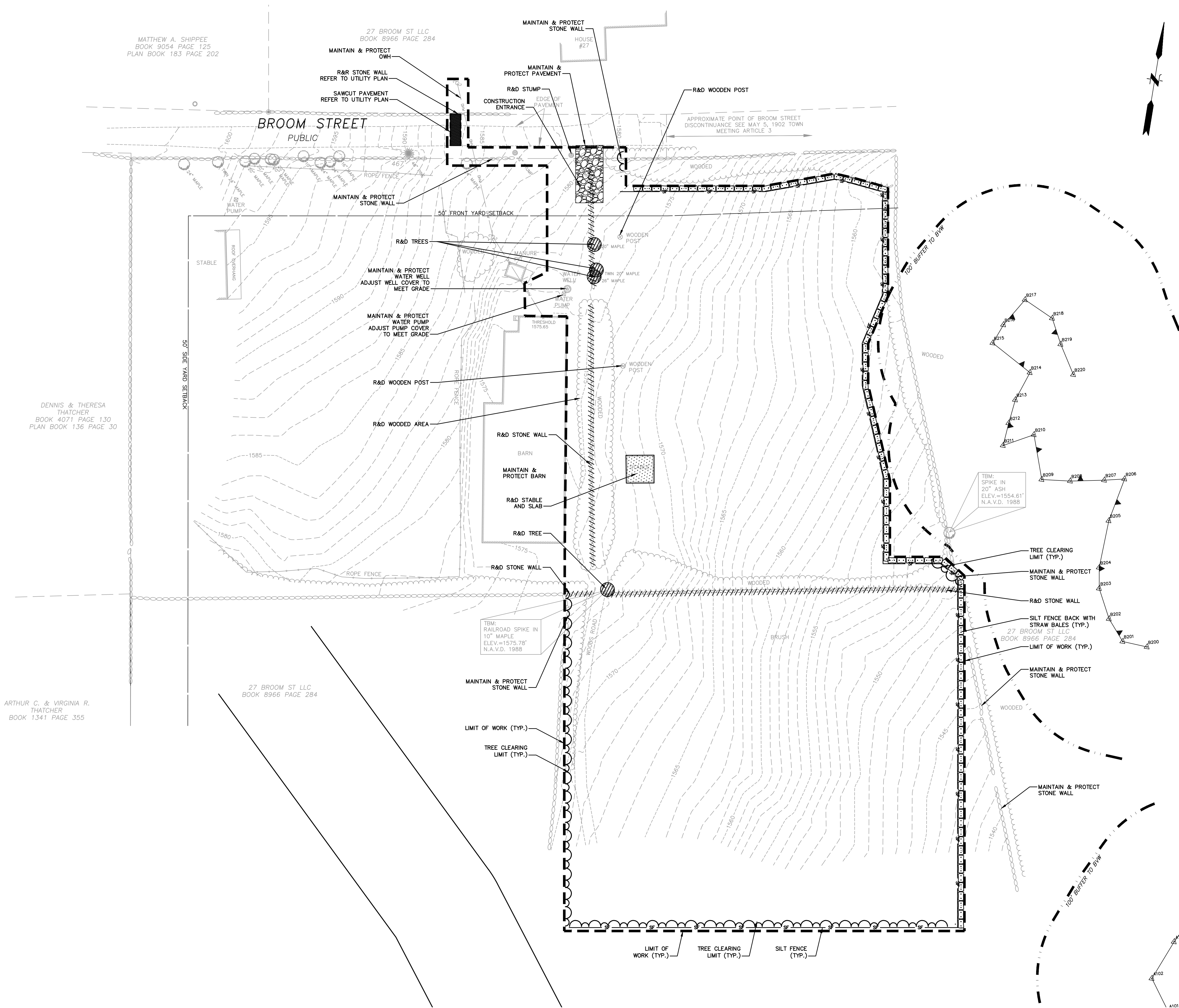


27 BROOM STREET LLC
EXISTING CONDITIONS
27 BROOM STREET
CANNABIS CULTIVATION FACILITY
PLAINFIELD
MASSACHUSETTS

PROJ. No.: 20180716.A10
DATE: 09/05/2018

C1.00

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MS VIEW: LAYER STATE: Plotter: DWG TO PDF.PC3 CTB File: FOSTB



- EARTHWORK**
1. CALL DIG-SAFE 811 OR 1-888-DIG-SAFE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.
 2. STOP WORK IN THE VICINITY OF SUSPECTED CONTAMINATED SOIL, GROUNDWATER OR OTHER MEDIA. IMMEDIATELY NOTIFY THE OWNER SO THAT APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN. RESUME WORK IN THE IMMEDIATE VICINITY ONLY UPON DIRECTION BY THE OWNER.
 3. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, PERFORM EARTHWORK OPERATIONS TO SUBGRADE ELEVATIONS. SEE DRAWINGS BY OTHERS FOR WORK ABOVE SUBGRADE.
 4. CONTRACTOR SHALL PROTECT ALL SLOPES, VEGETATION, PAVING, WALKS, AND IMPROVEMENTS OUTSIDE THE AREAS TO BE AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.
 5. REFER TO EROSION AND SEDIMENTATION CONTROL DETAILS FOR EROSION AND SEDIMENTATION CONTROL NOTES.
 6. CATCH BASINS WITHIN THE WORK AREA OR DOWN STREAM OF DRAINAGE FLOW SHALL BE PROTECTED WITH CATCH BASIN SILT SACKS.
 7. WATER AND CALCIUM CHLORIDE MUST BE AVAILABLE AT ALL TIMES FOR DUST CONTROL.
- DEMOLITION**
1. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS, UNLESS OTHERWISE NOTED.
 2. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES.
 3. TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
 4. ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.
- WORK RESTRICTIONS**
1. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
 2. WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM, MONDAY THROUGH FRIDAY.

- LEGEND & STANDARD ABBREVIATIONS**
- LIMIT OF WORK
 - WETLAND BOUNDARY - BORDERING VEGETATED WETLAND (BW)
 - 100' BUFFER TO WETLAND
 - PROPOSED TEMP. CHAIN LINK CONSTRUCTION FENCE
 - SILT FENCE
 - STRAW BALES
 - R&D STONE WALL
 - TREE CLEARING LIMIT
 - SAWCUT PAVEMENT
 - R&D ASPHALT
 - CONSTRUCTION ENTRANCE
 - TREE PROTECTION
 - R&D TREE
 - V.I.F. VERIFY IN FIELD
 - R&D REMOVE & DISPOSE
 - R&S REMOVE & STACK
 - R&R REMOVE & RESET
 - TYP. TYPICAL
 - CONC. CONCRETE
 - BIT. BITUMINOUS
 - TEMP. TEMPORARY

DATE	DESCRIPTION	DESIGNER	REVIEWER
1.			

SCALE: HORZ.: 1"=40'
VERT.: 1"=40'
D.A.T.U.M.:
HORZ.:
VERT.:
GRAPHIC SCALE: 40 20 0 40

FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
STAMFORD, CT 06907
413.452.0445
www.fussandoneill.com

27 BROOM STREET LLC
SITE PREPARATION & DEMOLITION PLAN
27 BROOM STREET
CANNABIS CULTIVATION FACILITY
PLAINFIELD MASSACHUSETTS

PROJ. No.: 20180716.A10
DATE: 09/05/2018

C1.10

NOT FOR CONSTRUCTION

ARTHUR C. & VIRGINIA R.
THATCHER
BOOK 1341 PAGE 355

DENNIS & THERESA
THATCHER
BOOK 4071 PAGE 130
PLAN BOOK 136 PAGE 30

MATTHEW A. SHIPPEE
BOOK 9054 PAGE 125
PLAN BOOK 183 PAGE 202

27 BROOM ST LLC
BOOK 8966 PAGE 284

HOUSE
#27

APPROXIMATE POINT OF BROOM STREET
DISCONTINUANCE SEE MAY 5, 1902 TOWN
MEETING ARTICLE 3

TBM:
RAILROAD SPIKE IN
10" MAPLE
ELEV.=1575.78'
N.A.V.D. 1988

TBM:
SPIKE IN
20" ASH
ELEV.=1554.61'
N.A.V.D. 1988

120,000± SF
GROW AREA

BRUSH

27 BROOM ST LLC
BOOK 8966 PAGE 284

CONSTRUCTION LAYOUT

1. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. FIELD VERIFY EXISTING PAVEMENT AND GROUND ELEVATIONS AT THE INTERFACE WITH PROPOSED PAVEMENTS AND DRAINAGE STRUCTURES BEFORE START OF CONSTRUCTION.
2. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, FIELD VERIFY PROPOSED UTILITY ROUTES AND IDENTIFY ANY INTERFERENCES OR OBSTRUCTIONS WITH EXISTING UTILITIES OR PUBLIC RIGHTS-OF-WAY.
3. IMMEDIATELY INFORM THE ENGINEER IN WRITING IF EXISTING UTILITY CONDITIONS CONFLICT OR DIFFER FROM THAT INDICATED AND IF THE WORK CANNOT BE COMPLETED AS INDICATED.
4. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS NOTED OTHERWISE.
5. BOUNDS OR MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND SAFETY OF TRAFFIC ON THE PUBLIC AND PRIVATE WAYS AFFECTED BY THE CONSTRUCTION OF THIS PROJECT.

PAVEMENT

1. CONSTRUCT ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

SITE RESTORATION

1. PROVIDE 6 INCHES OF TOPSOIL AND SEED TO AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED TO BE RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) UNLESS OTHERWISE NOTED. REQUIRED SEED MIX:
 - 50% KENTUCKY BLUEGRASS
 - 40% TALL FESCUE
 - 10% PERENNIAL RYEGRASS
2. REPAIR DAMAGES RESULTING FROM CONSTRUCTION LOADS, AT NO ADDITIONAL COST TO OWNER.
3. RESTORE AREAS DISTURBED BY CONSTRUCTION OPERATIONS OUTSIDE OF THE WORK AREA TO THEIR ORIGINAL CONDITION OR BETTER, AT NO ADDITIONAL COST TO OWNER.

LEGEND & STANDARD ABBREVIATIONS

- PROPOSED LIMIT OF WORK
- YARD SETBACKS
- PROPOSED CURB
- PROPOSED BARRED WIRE CHAIN LINK FENCE
- PROPOSED SPLIT RAIL FENCE
- RELOCATED EX. STONE WALL
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED PROCESS GRAVEL
- PROPOSED CONCRETE
- STONE FILTER STRIP
- BOLLARD
- SIGN
- TYP. TYPICAL
- CONC. CONCRETE
- BIT. BITUMINOUS

NOT FOR CONSTRUCTION

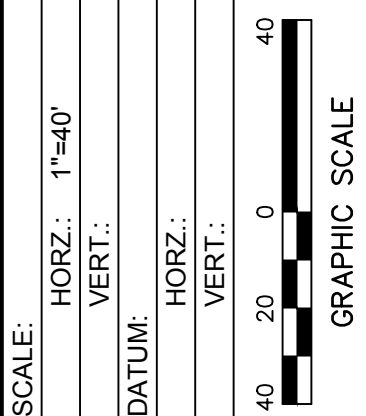
27 BROOM STREET LLC

SITE LAYOUT PLAN

27 BROOM STREET

CANNABIS CULTIVATION FACILITY

PLAINFIELD MASSACHUSETTS



FUSS & O'NEILL

1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01105
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PROJ. No.: 20180716.A10
DATE: 09/05/2018

C1.20

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ARTHUR C. & VIRGINIA R.
THATCHER
BOOK 1341 PAGE 355

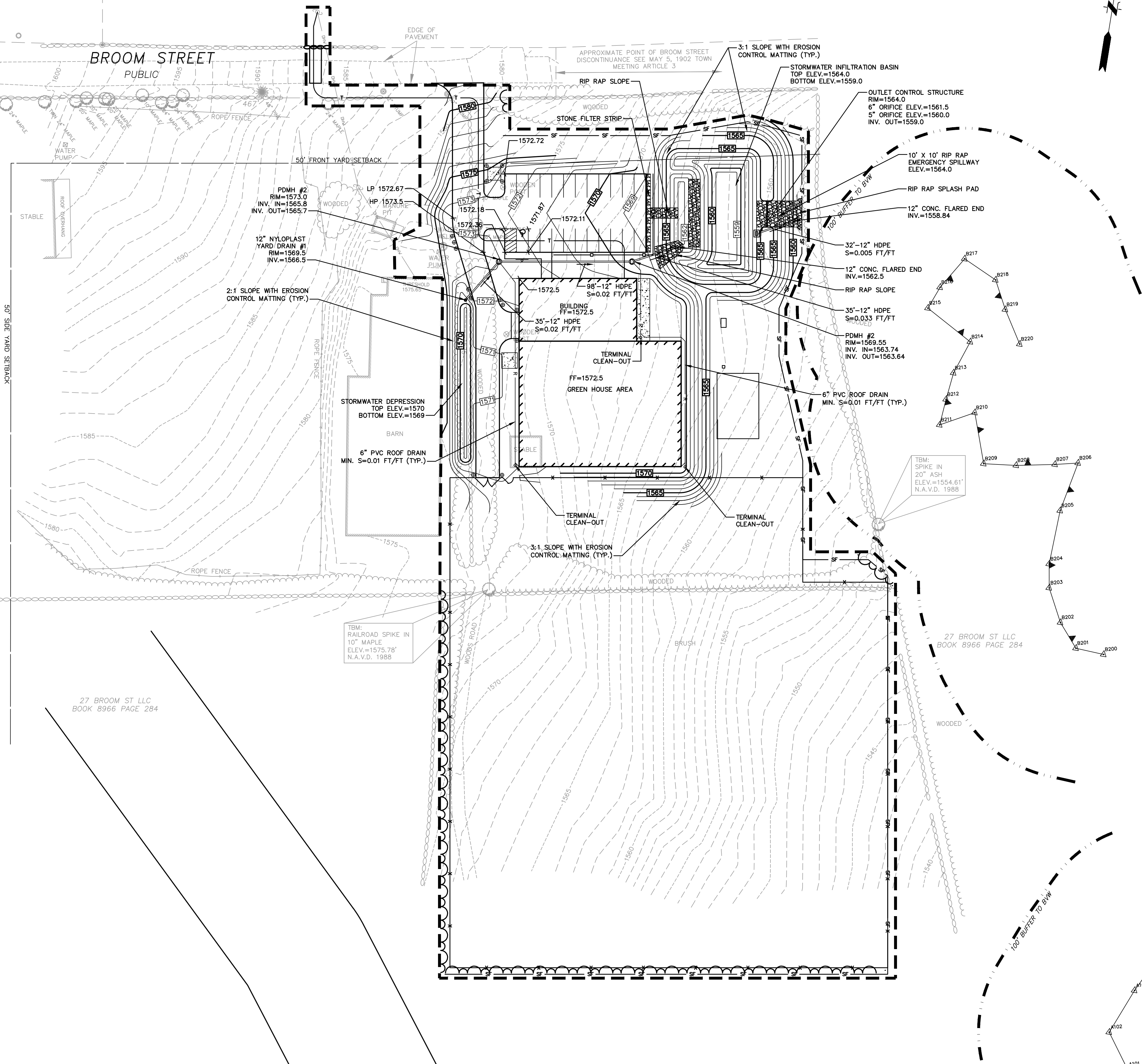
DENNIS & THERESA
THATCHER
BOOK 4071 PAGE 130
PLAN BOOK 136 PAGE 30

MATTHEW A. SHIPPEE
BOOK 9054 PAGE 125
PLAN BOOK 183 PAGE 202

27 BROOM ST LLC
BOOK 8966 PAGE 284

HOUSE
#27

BROOM STREET
PUBLIC



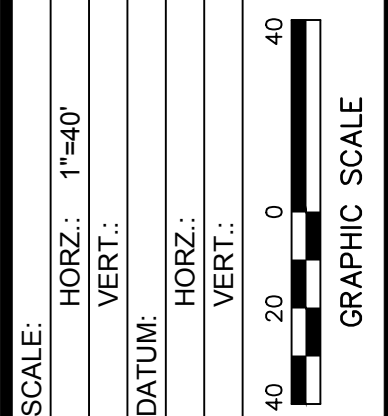
UTILITIES

1. TERMINATE EXISTING UTILITIES IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. COORDINATE UTILITY SERVICE DISCONNECTS WITH UTILITY REPRESENTATIVES.
2. THE TYPE, SIZE AND LOCATION OF DEPICTED UNDERGROUND UTILITIES ARE APPROXIMATE REPRESENTATIONS OF INFORMATION OBTAINED FROM FIELD LOCATIONS OF VISIBLE FEATURES, EXISTING MAPS AND PLANS OF RECORD, UTILITY MAPPING, AND OTHER SOURCES OF INFORMATION OBTAINED BY THE ENGINEER. ASSUME NO GUARANTEE AS TO THE COMPLETENESS, SERVICEABILITY, EXISTENCE, OR ACCURACY OF UNDERGROUND FACILITIES. FIELD VERIFY THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES.
3. PAY ALL FEES AND COSTS ASSOCIATED WITH UTILITY MODIFICATIONS AND CONNECTIONS, REGARDLESS OF THE ENTITY THAT PERFORMS THE WORK.
4. COORDINATE THE WORK AND WORK SCHEDULE WITH UTILITY COMPANIES. PROVIDE ADEQUATE NOTICE TO UTILITIES TO PREVENT DELAYS IN CONSTRUCTION.
5. INSTALL PROPOSED PRIVATE UTILITY SERVICES ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY THE AUTHORITY HAVING JURISDICTION (WATER, SEWER, GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). COORDINATE FINAL DESIGN LOADS AND LOCATIONS WITH OWNER AND ARCHITECT.
6. REMOVAL OF OVERHEAD WIRE AND POLES SHALL BE COORDINATED BY THE CONTRACTOR.
7. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF DRAINAGE AND UTILITIES WITHIN 10 FEET OF BUILDING FOOTPRINT.
8. NOTIFY ABUTTING PROPERTY OWNERS AND THE TOWN OF PLAINFIELD 24 HOURS PRIOR TO DISRUPTION OF UTILITY SERVICE.
9. ALL WATER SERVICE AND SEWER SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE TOWN OF PLAINFIELD DPW AND WATER DEPARTMENT.

LEGEND & STANDARD ABBREVIATIONS

- PROPOSED LIMIT OF WORK
- YARD SETBACKS
- 784 PROPOSED MINOR CONTOURS
- 796 PROPOSED MINOR CONTOURS
- PROPOSED STORMWATER DRAINAGE PIPE
- R --- PROPOSED STORMWATER ROOF DRAIN
- ⊕ PROPOSED NYLOPLAST YARD DRAIN
- PROPOSED CLEAN OUT
- STONE FILTER STRIP
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TYP. TYPICAL
- CONC. CONCRETE
- BIT. BITUMINOUS

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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27 BROOM STREET LLC
GRADING AND DRAINAGE PLAN
27 BROOM STREET
CANNABIS CULTIVATION FACILITY
PLAINFIELD MASSACHUSETTS

PROJ. No.: 20180716.A10
DATE: 09/05/2018

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THATCHER
BOOK 1341 PAGE 355

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BOOK 8966 PAGE 284
CONNECT UNDERGROUND ELECTRICAL
AND TELECOMMUNICATION TO EXISTING
UTILITY POLE W/UTILITY RISER
CONTRACTOR TO COORDINATE WITH
UTILITY COMPANIES

TBM:
RAILROAD SPIKE IN
10" MAPLE
ELEV.=1575.78'
N.A.V.D. 1988

TBM:
SPIKE IN
20" ASH
ELEV.=1554.61'
N.A.V.D. 1988

LEGEND & STANDARD ABBREVIATIONS

- PROPOSED LIMIT OF WORK
- YARD SETBACKS
- PROPOSED STORMWATER DRAINAGE PIPE
- R PROPOSED STORMWATER ROOF DRAIN
- E PROPOSED UNDERGROUND ELECTRICAL
- S PROPOSED SANITARY SEWER
- W PROPOSED WATER LINE
- T PROPOSED UNDERGROUND TELECOMMUNICATION
- PROPOSED NYLOPLAST YARD DRAIN
- PROPOSED CLEAN OUT
- STONE FILTER STRIP
- LIGHT POLE
- SIGN
- TYP. TYPICAL
- CONC. CONCRETE
- BIT. BITUMINOUS
- ELEC. ELECTRICAL
- TELE. TELECOMMUNICATION

NOT FOR CONSTRUCTION

27 BROOM STREET LLC

UTILITY PLAN

27 BROOM STREET

CANNABIS CULTIVATION FACILITY
PLAINFIELD MASSACHUSETTS

FUSS & O'NEILL

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413.452.0445
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SCALE: HORZ.: 1"=40'
VERT.:
DATUM:
HORZ.:
VERT.:
GRAPHIC SCALE
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DATE: 09/05/2018

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1. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO STUMP REMOVAL AND CONSTRUCTION. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

- ### OPERATION & MAINTENANCE PLAN DURING CONSTRUCTION

1. OWNER SHALL BE RESPONSIBLE FOR ALL OPERATION AND MAINTENANCE OF THE SITE.

- SUGGESTED OPERATION AND MAINTENANCE ACTIVITIES AND PROPOSED SCHEDULE AFTER CONSTRUCTION AS FOLLOWS:

- SILT FENCE NOTES:

- ## NOTES

- NOTE:**
STOCKPILES SHALL BE LOCATED
WITHIN CONSTRUCTION FENCE LIMITS

- NOTE

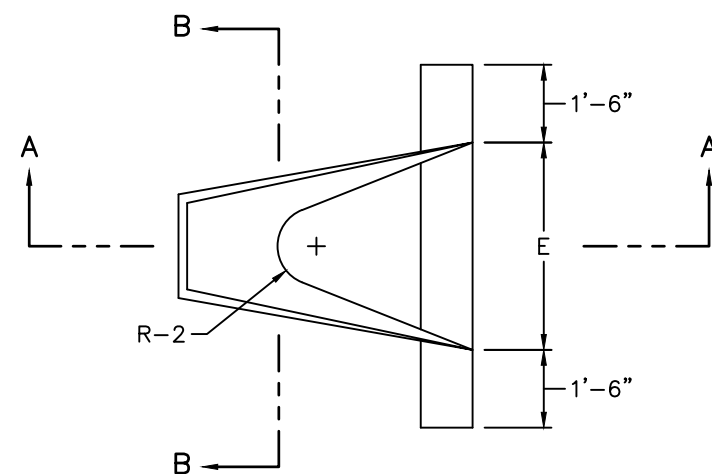


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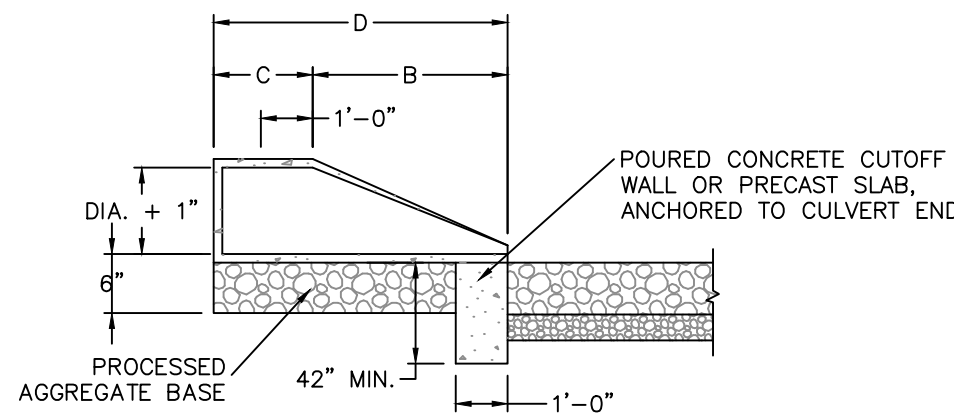
UTILITY DETAILS

27 BROOM STREET
CANNABIS CULTIVATION FACILITY
PLAINFIELD MASSACHUSETTS

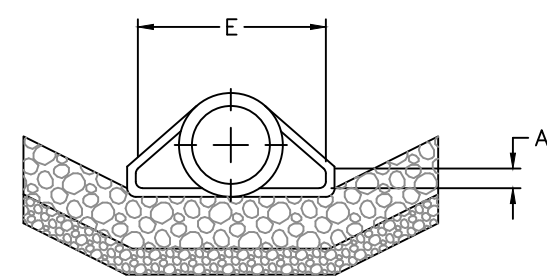
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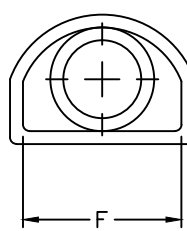
PLAN



SECTION A-A



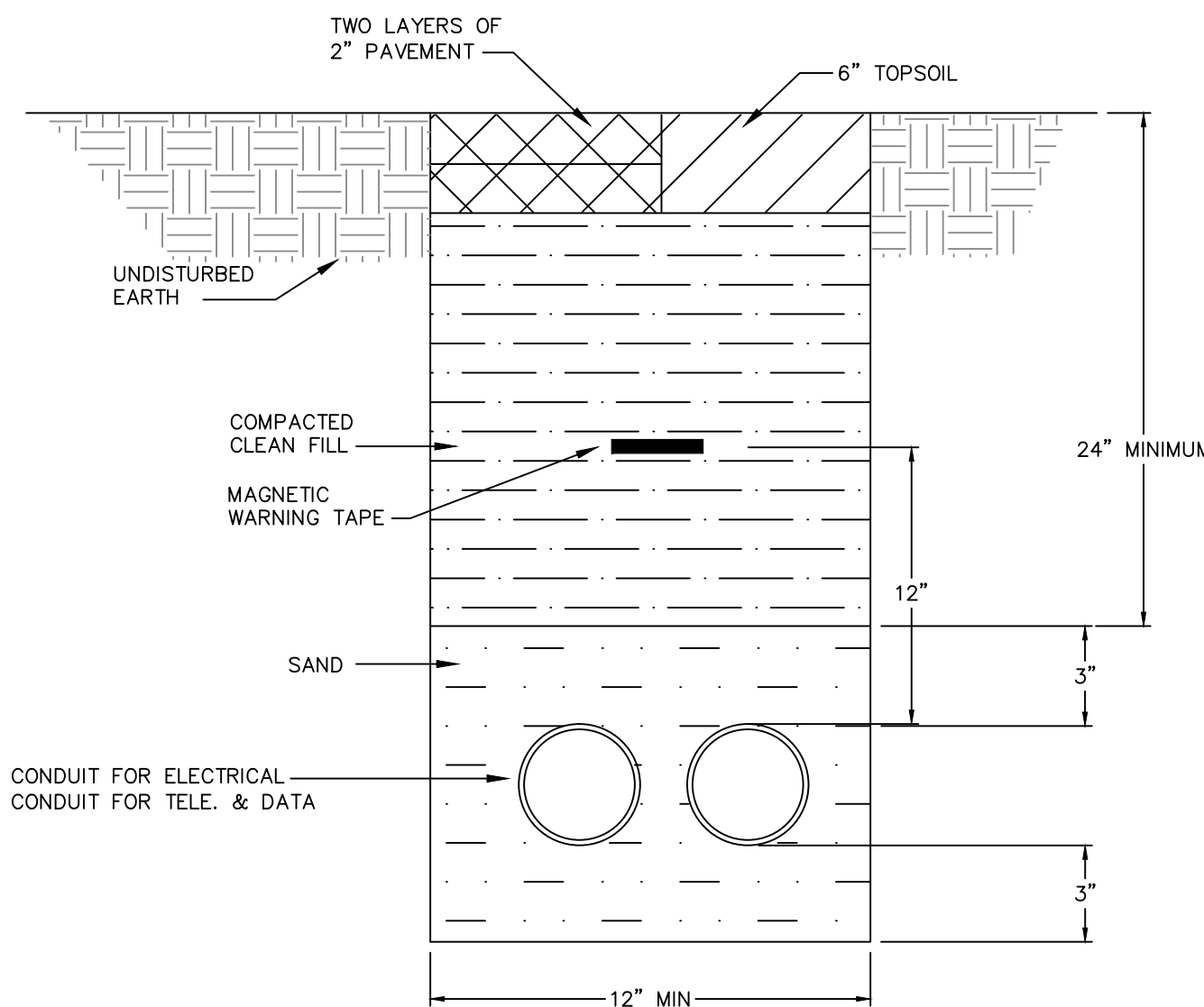
END VIEW



SECTION B-B

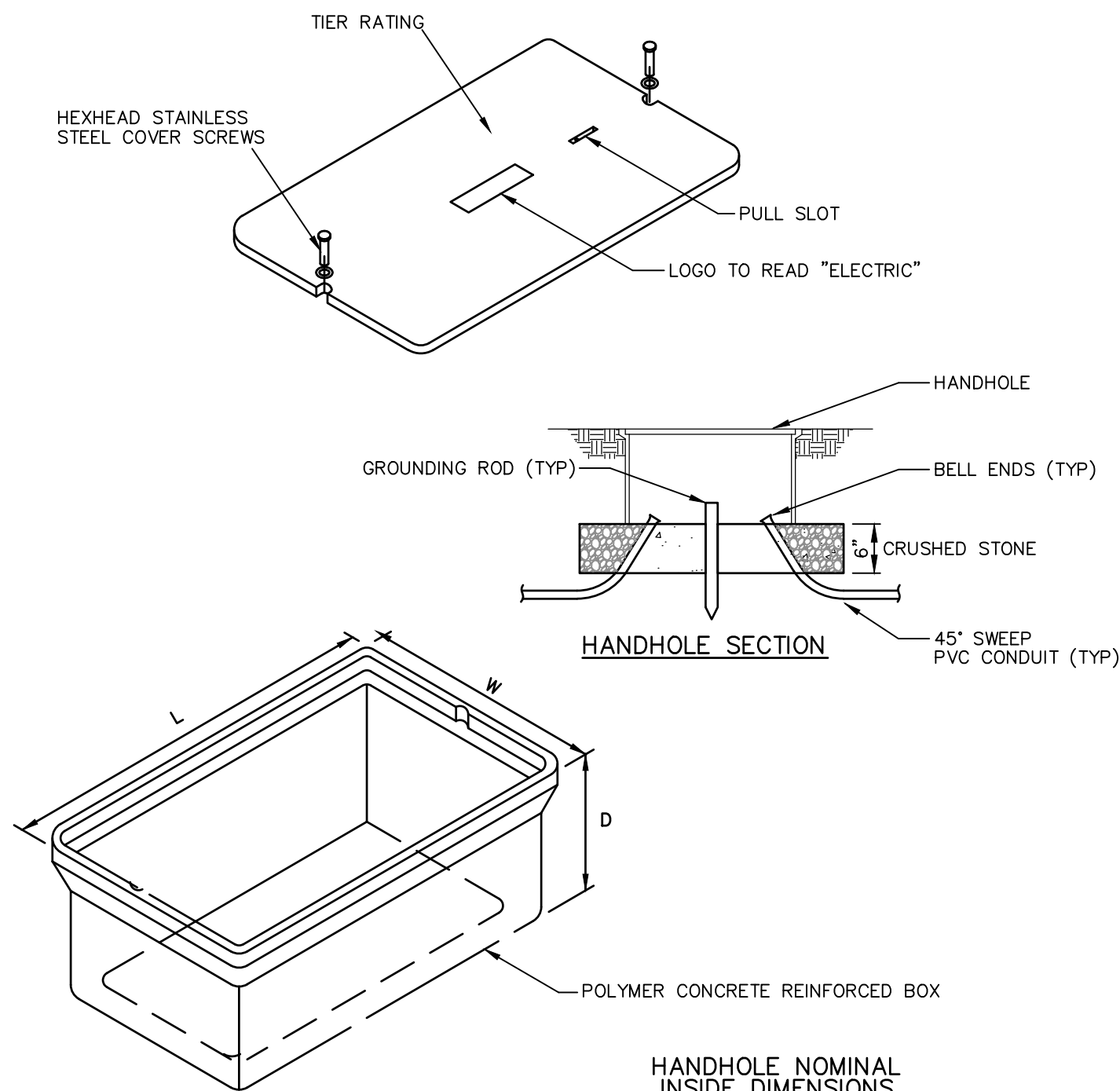
DIMENSIONS						
DIA.	A	B	C	D	E	F
12"	4"	2'-0"	6'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"

1 CONCRETE CULVERT FLARED END
SCALE: N.T.S.



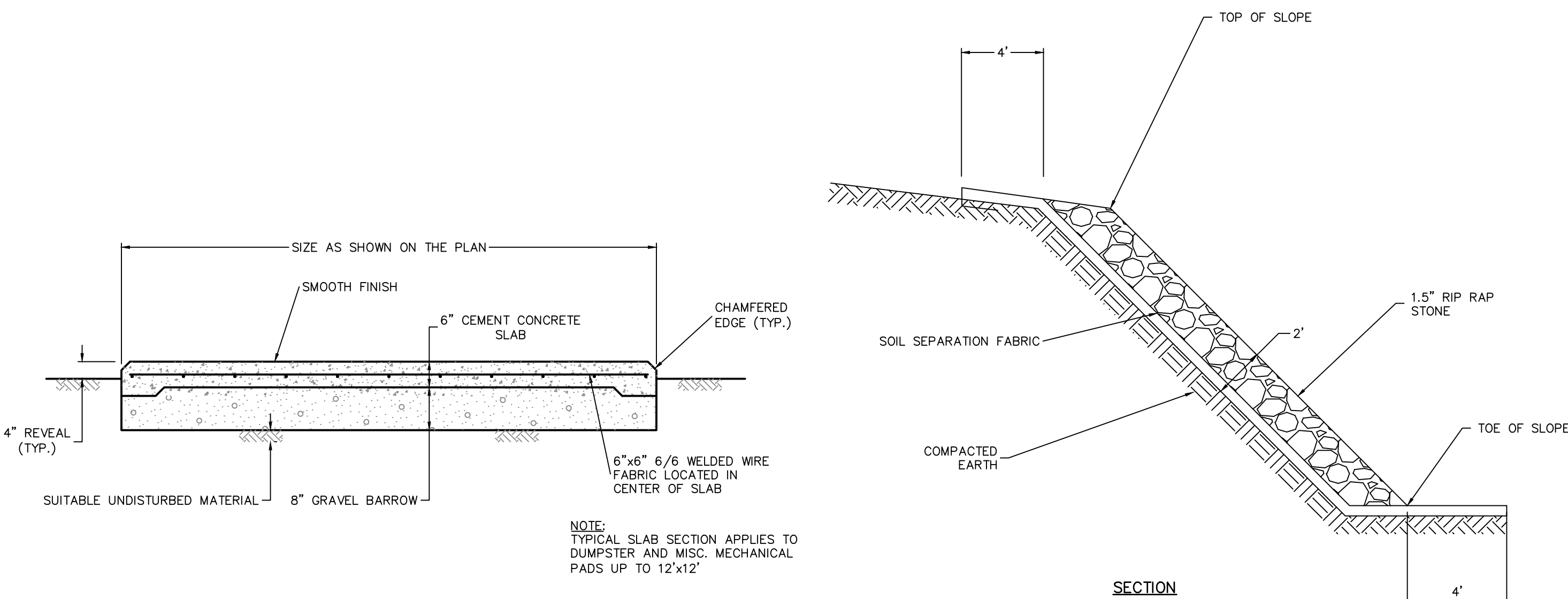
NOTE:
1. WHEN MULTIPLE CONDUITS ARE BURIED TOGETHER THERE SHALL BE A MINIMUM OF 2" CLEARANCE BETWEEN CONDUITS.
2. COORDINATE ALL DETAIL AND INSTALLATION WITH LOCAL UTILITY COMPANIES PRIOR TO INSTALLATION.

2 UNDERGROUND ELECTRICAL CONDUIT
SCALE: N.T.S.

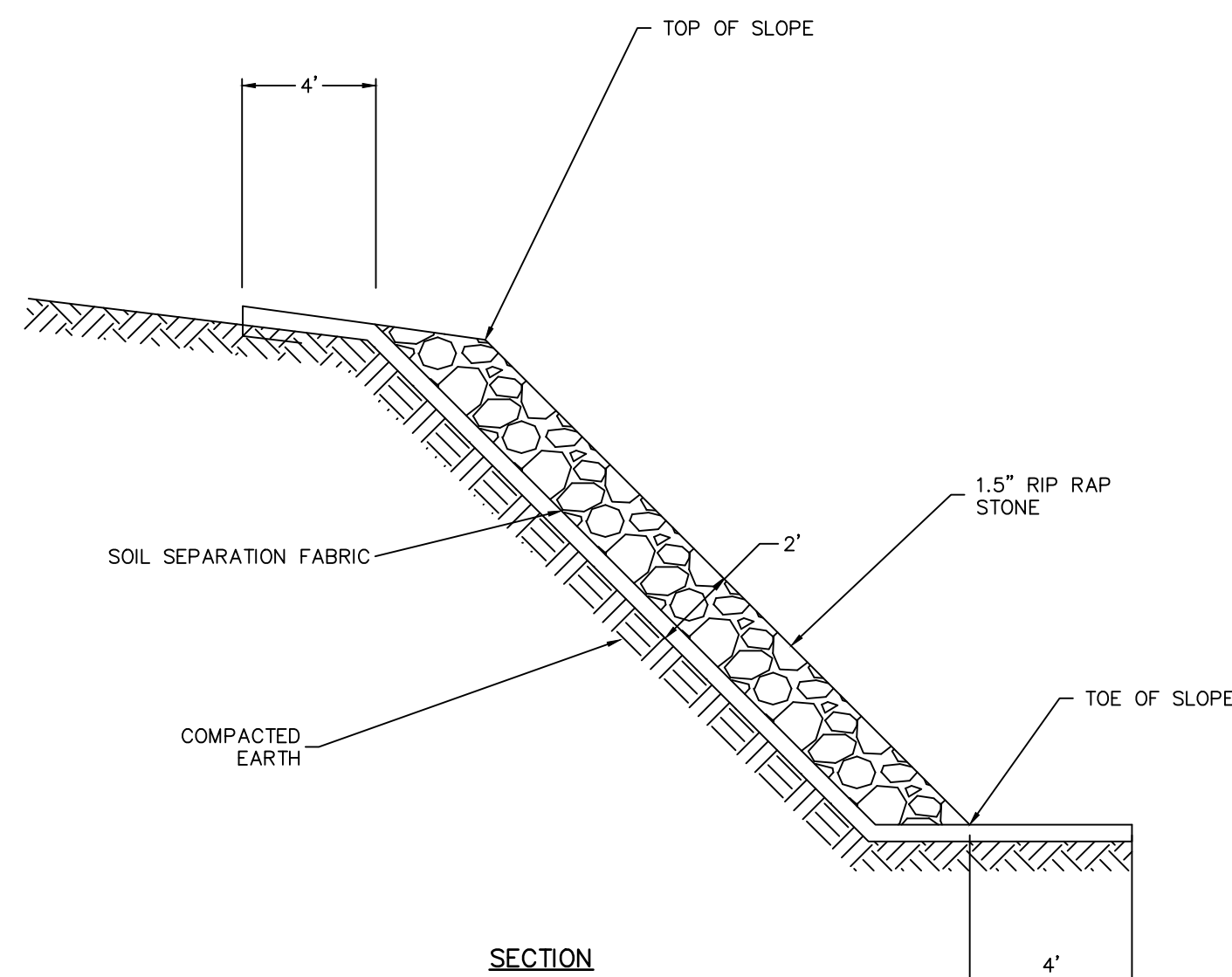


HANDHOLE NOMINAL INSIDE DIMENSIONS			
TYPE	WIDTH	LENGTH	DEPTH
A	12"	12"	18"
B	12"	24"	18"

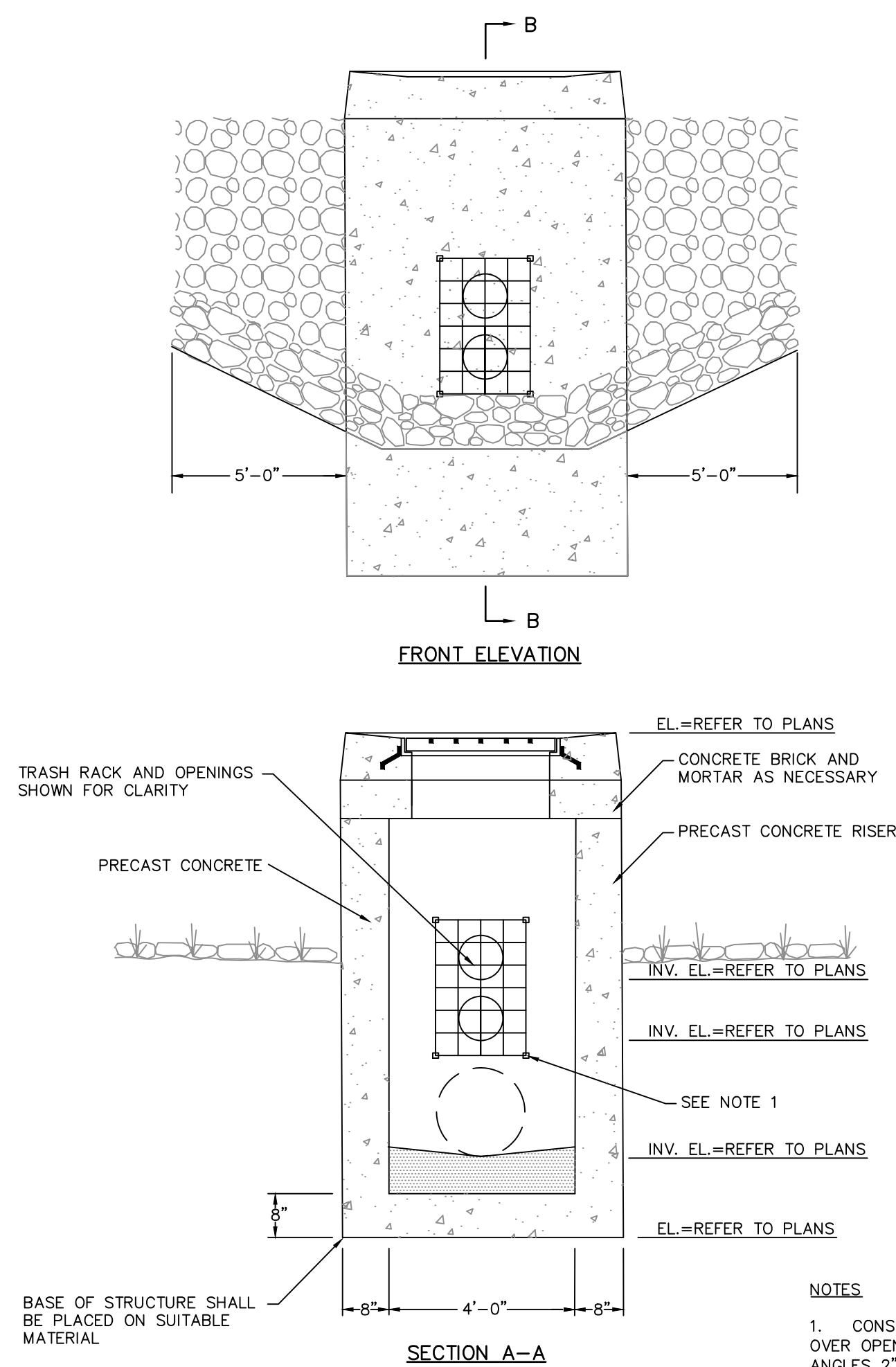
3 TYPICAL ELECTRICAL HANDHOLE DETAIL
SCALE: N.T.S.



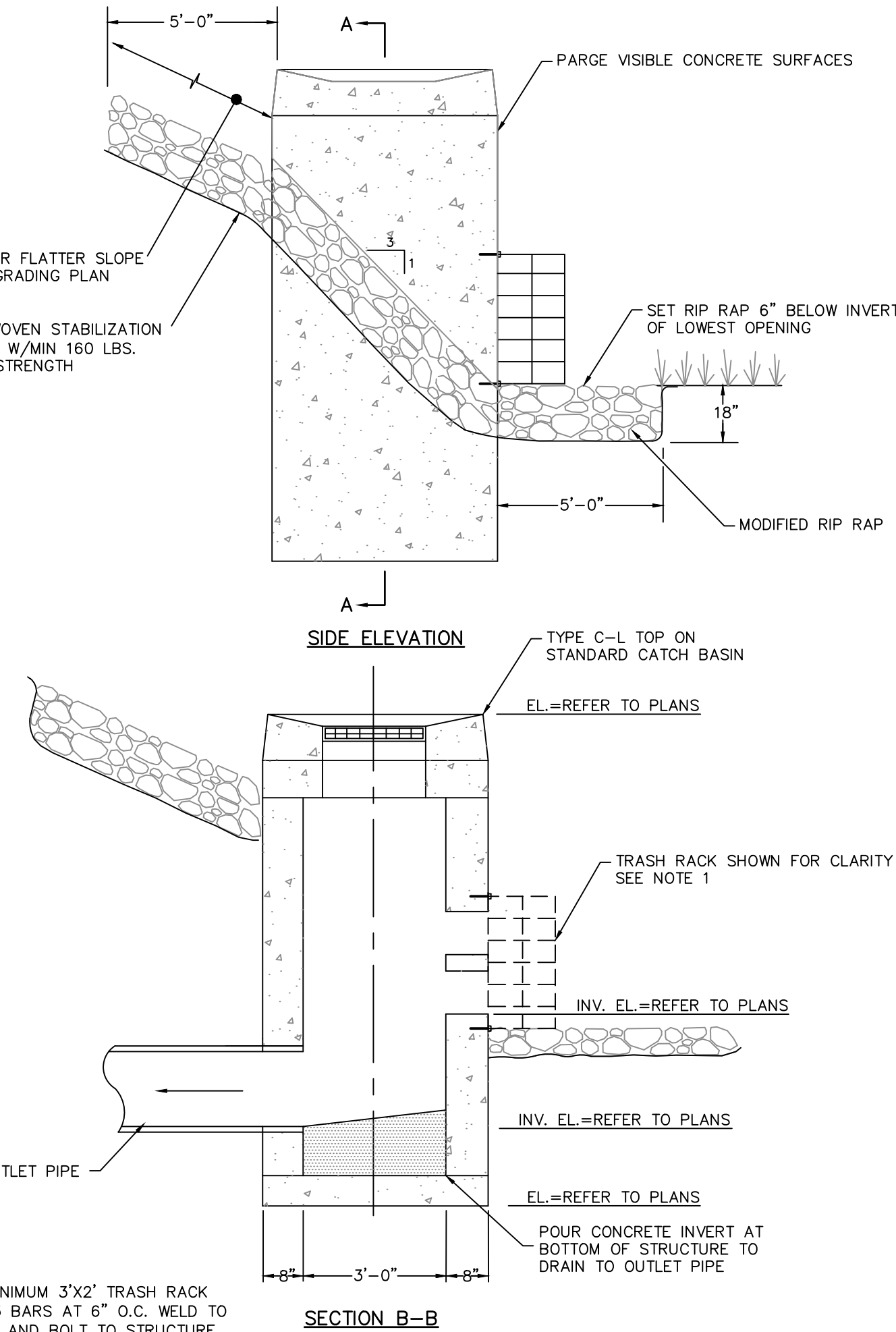
4 CONCRETE UTILITY PAD TYPICAL SECTION
SCALE: N.T.S.



5 RIP RAP SLOPE IN BASIN
SCALE: N.T.S.



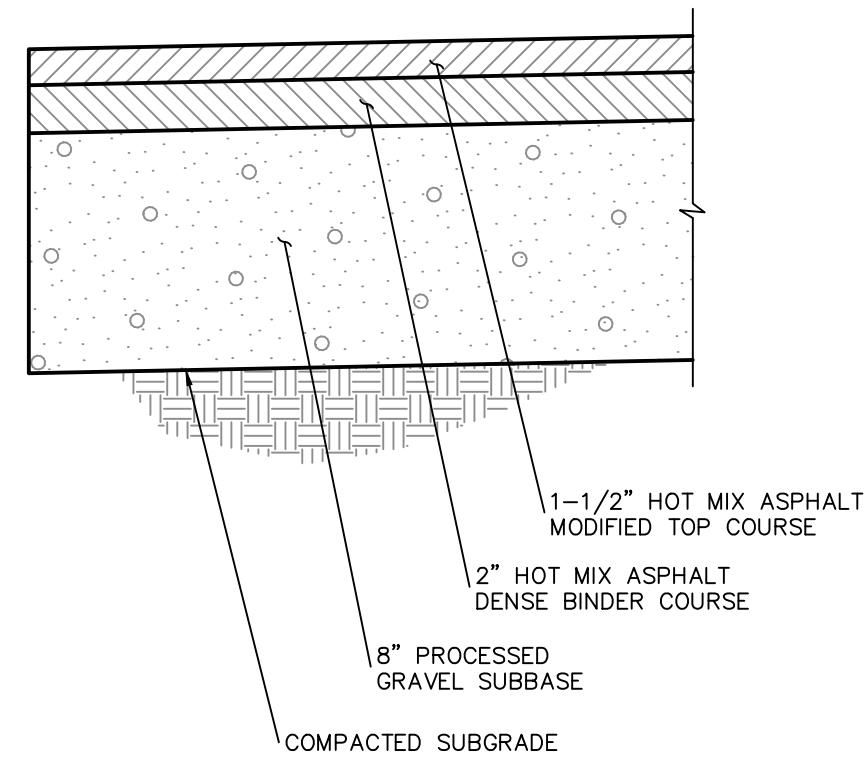
6 OUTLET CONTROL STRUCTURE
SCALE: N.T.S.



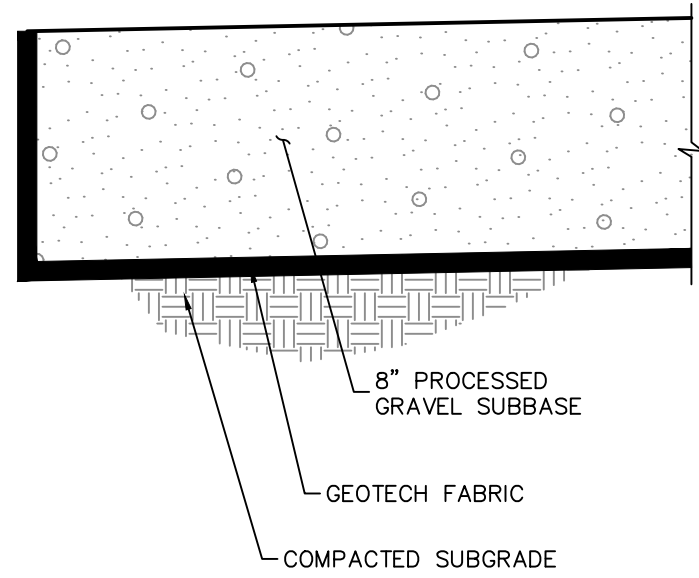
NOTES:
1. CONSTRUCT MINIMUM 3'X2' TRASH RACK OVER OPENINGS. #3 BARS AT 6" O.C. WELD TO ANGLES 2"x2"x1/4" AND BOLT TO STRUCTURE USING 3/8" EXPANSION ANCHORS. TACK WELD BARS.

NOT FOR CONSTRUCTION

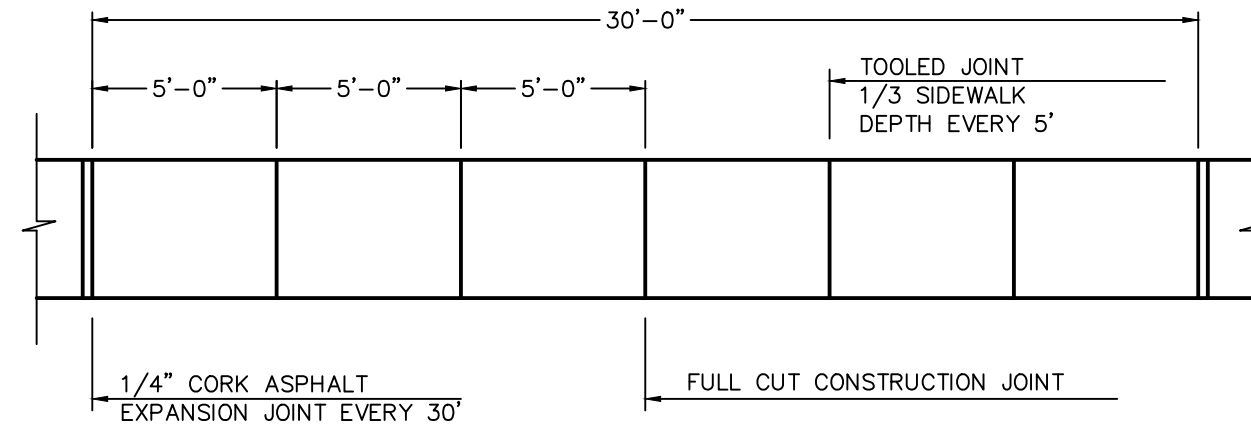
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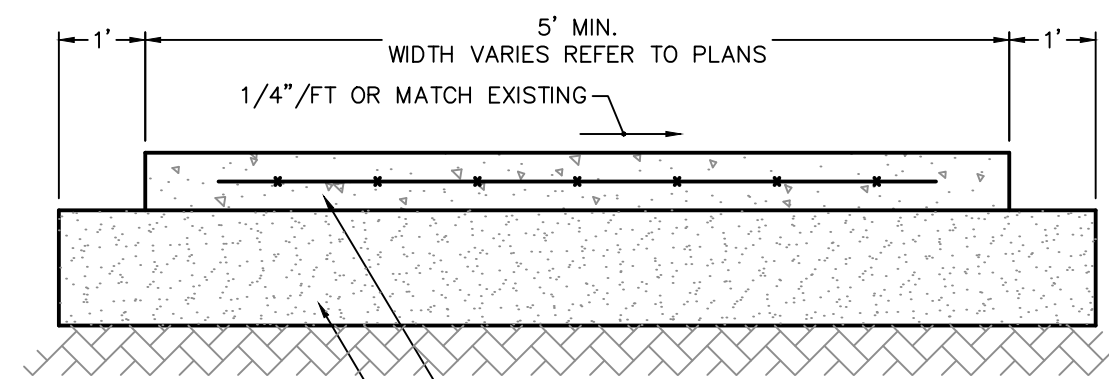
1 TYPICAL PAVEMENT SECTION
SCALE: N.T.S.



2 TYPICAL PROCESSED GRAVEL SECTION
SCALE: N.T.S.



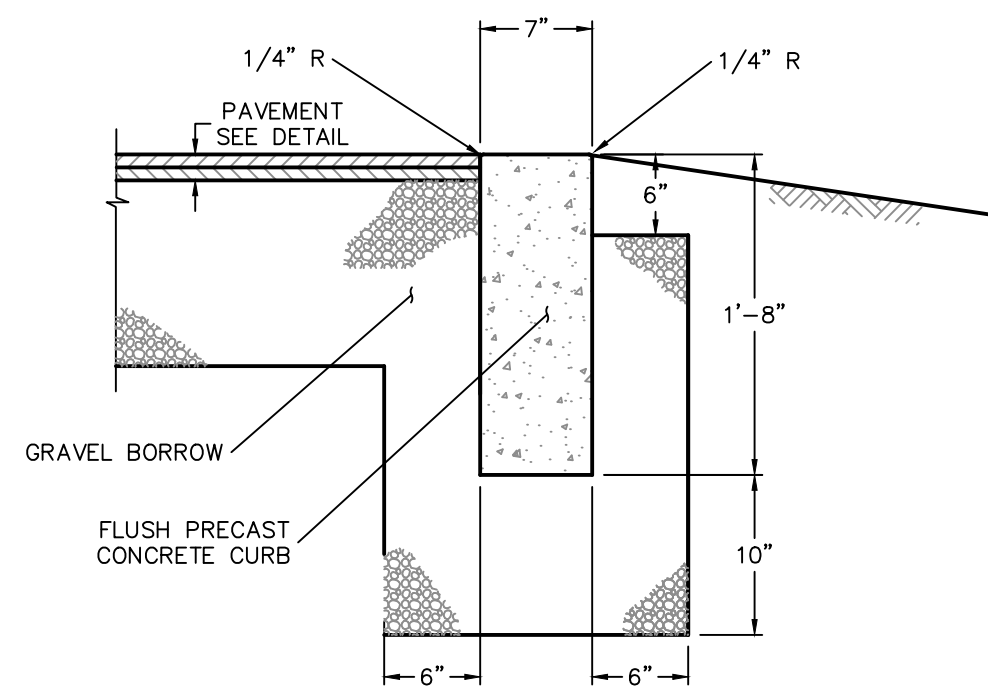
PLAN



SECTION

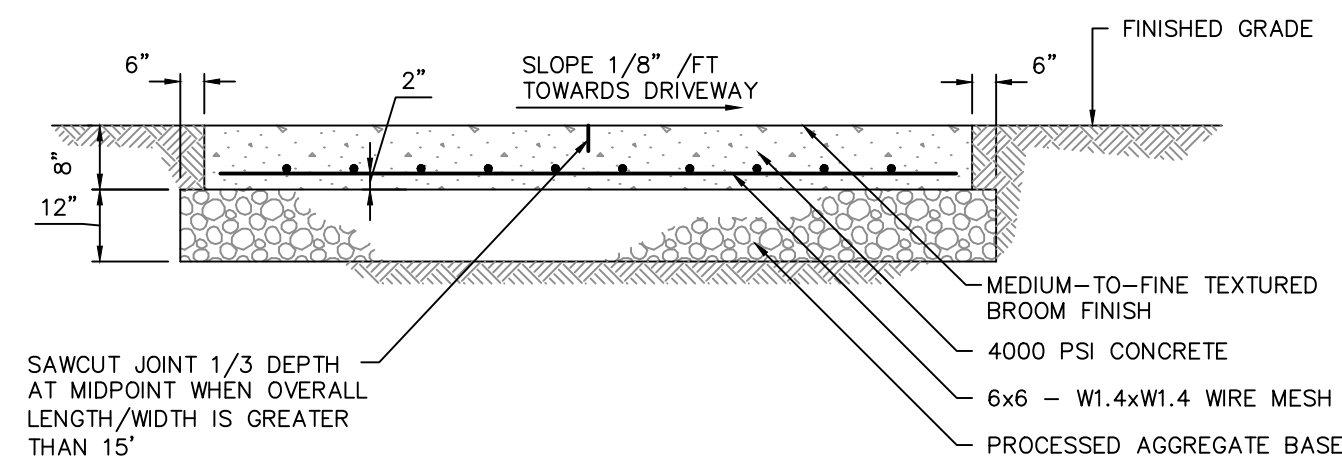
- NOTES:
1. PROVIDE DEEP DUMMY JOINT EVERY 5' (1/3 DEPTH OF SLAB)
 2. REPLACE 1/4" EXPANSION JOINT IF EXISTING JOINT FALLS WITHIN RECONSTRUCTION.

3 CONCRETE SIDEWALK
SCALE: N.T.S.

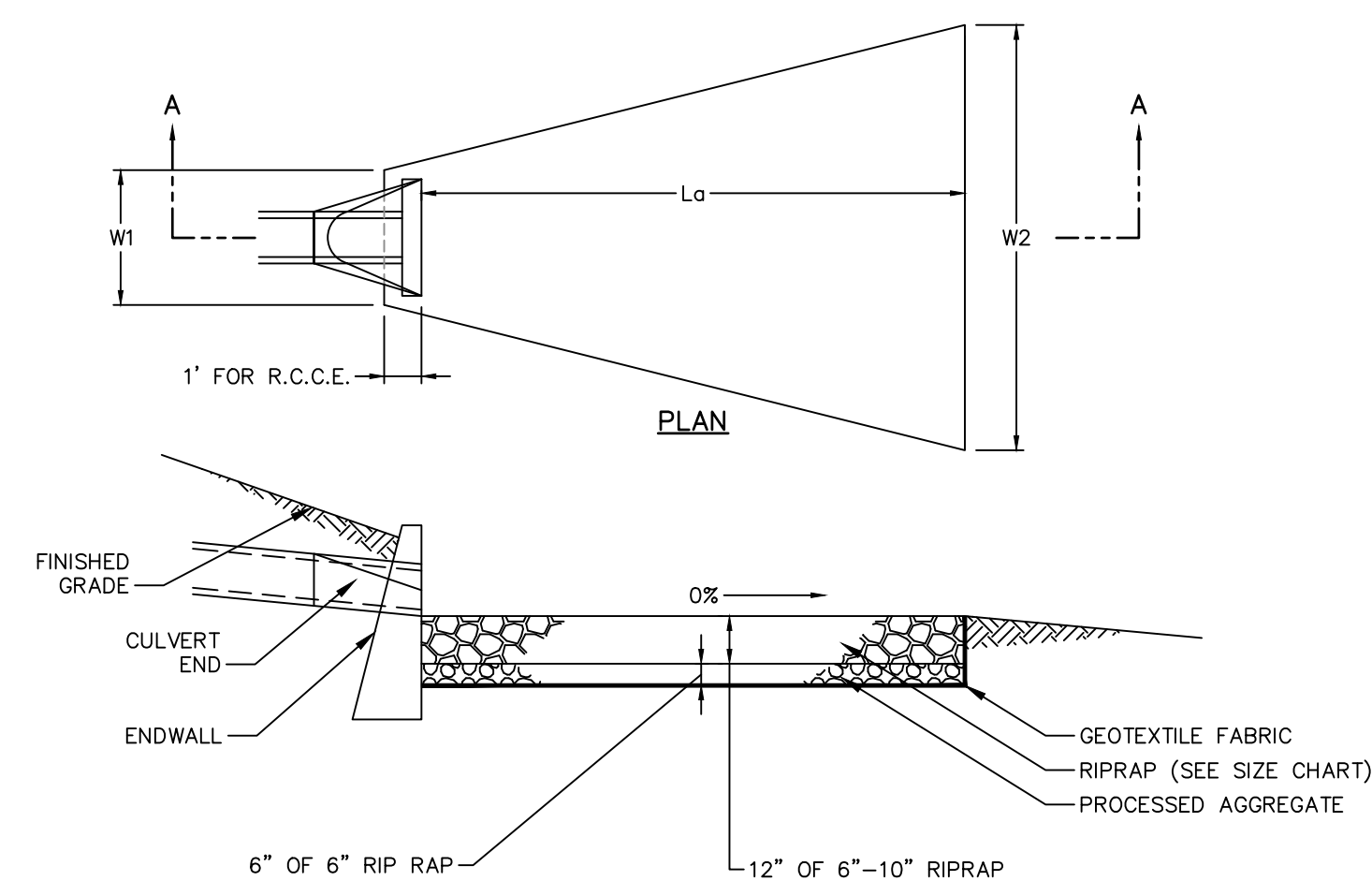


- NOTES:
1. 1 INCH DEEP BEVELED JOINT AT TOP AND FACE OF CURB.
 2. FULL DEPTH EVERY 10 FEET. 1/2 INCH EXPANSION JOINT AND FILLER EVERY 30 FEET.
 3. 1/2 INCH EXPANSION JOINT AND FILLER WHEN CURB IS ADJACENT TO CONCRETE SIDEWALK.

4 FLUSH PRECAST CONCRETE CURB
SCALE: N.T.S.



5 CONCRETE DUMPSTER PAD
SCALE: N.T.S.



SECTION A-A

PIPE SIZE	Ld	W1	W2	RIPRAP TYPE
12"	12'	3'	11'-6"	6"-10"

6 CONCRETE FLARED END W/RIP RAP APRON
SCALE: N.T.S.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
1.				

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VERT.:	
DATUM:	
HORIZ.:	
VERT.:	

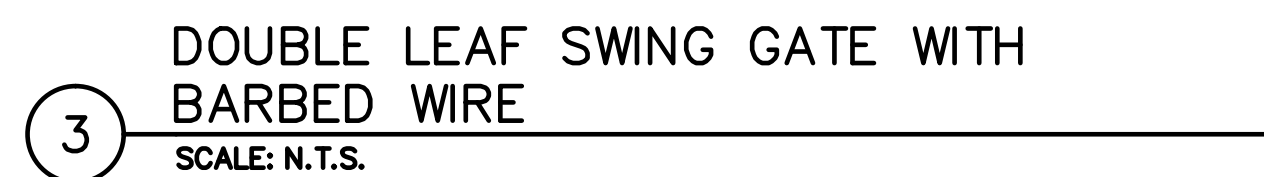
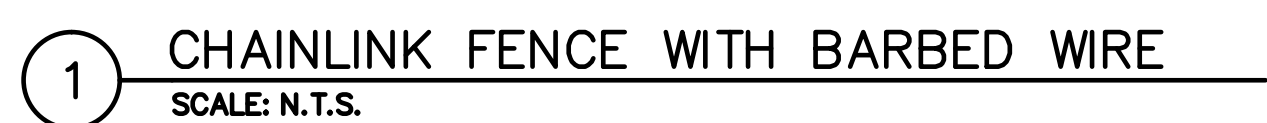
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CONSTRUCTION DETAILS
27 BROOM STREET
CANNABIS CULTIVATION FACILITY
PLAINFIELD, MASSACHUSETTS

PROJ. No.: 20180716.A10
DATE: 09/05/2018

C3.03

NOT FOR CONSTRUCTION



C3.04



PLANT QUANTITY / SPECIES

NOT FOR CONSTRUCTION

[illegible]

SCALE: HORZ.: 1" = 40'

 VERT.:


DATUM:

 HORZ.:

 VERT.:

40 20 0 40

GRAPHIC SCALE



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PLANTING PLAN	MASSACHUSETTS
27 BROOM STREET LLC	
27 BROOM STREET CANNABIS CULTIVATION FACILITY	
PLAINFIELD	

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DATE: 09/05/2018

L1.10



CLIENT:



FUSS & O'NEILL

78 INTERSTATE DRIVE
WEST SPRINGFIELD, MA 01089
413.562.0445
www.fho.com

title: PROGRAMMING PLAN

ISSUED FOR SPECIAL USE PERMIT

GENERAL ELEVATION NOTES

- RIDGE HEIGHT (TYPICAL OF SIM) AS DESIGNED IS 21'-8" ABOVE FINISH FLOOR.
- TYPICAL EAVE HEIGHT AS DESIGNED IS 14'-1" ABOVE FINISH FLOOR.
- EXTERIOR MATERIAL SHOWN IS CORRUGATED METAL PANEL.
- ALUMINUM STOREFRONT AT COVERED ENTRY
- WINDOWS SHOWN ARE ALUMINUM



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rebecca@mcgeorgeaol.com 401.215.0869 c



PROJECT:

27 BROOM STREET
CANNAS CULTIVATION
27 BROOM STREET
PLAINFIELD, MA 01070

CLIENT:



REVISIONS:	NO.	DATE	DESCRIPTION

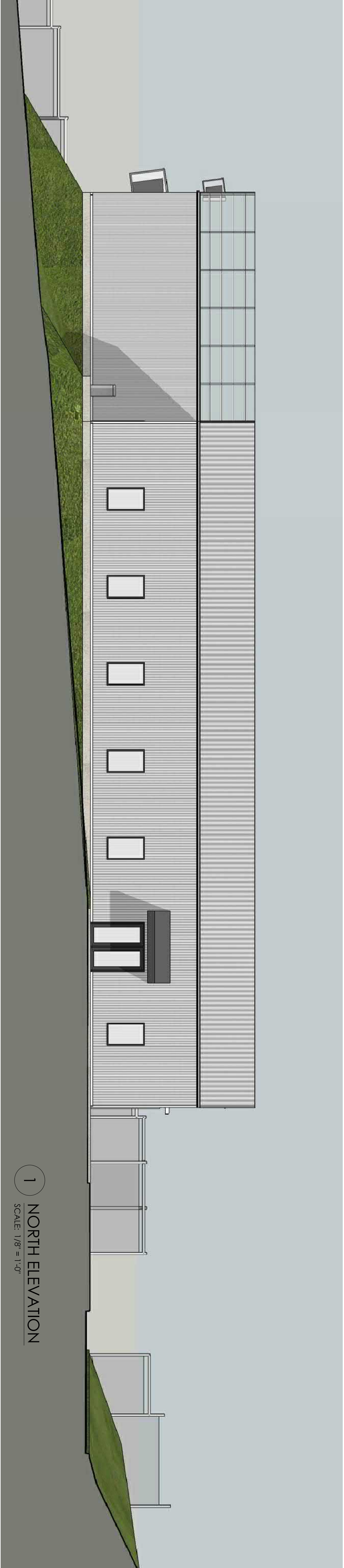
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TITLE:	2018-67		

SCHEMATIC
EXTERIOR
ELEVATIONS

DWG NO.:

A2.1

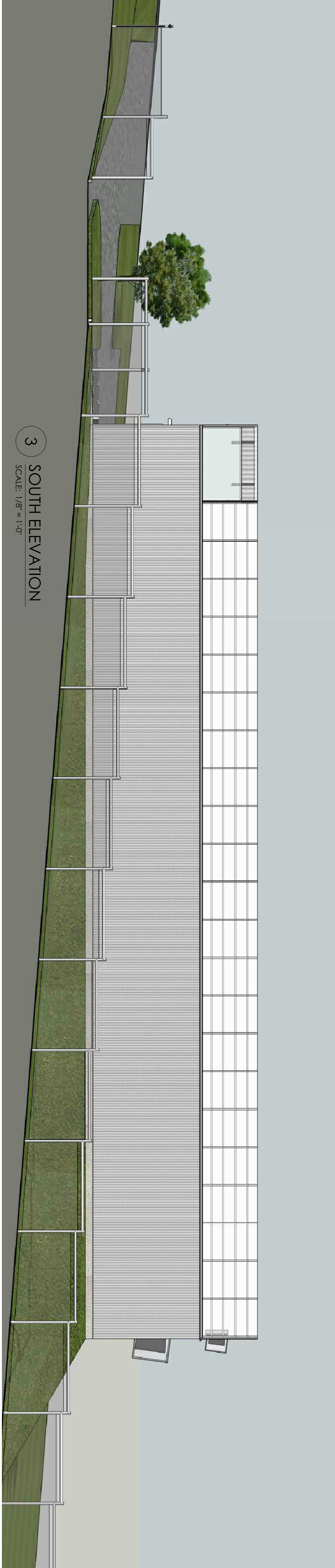
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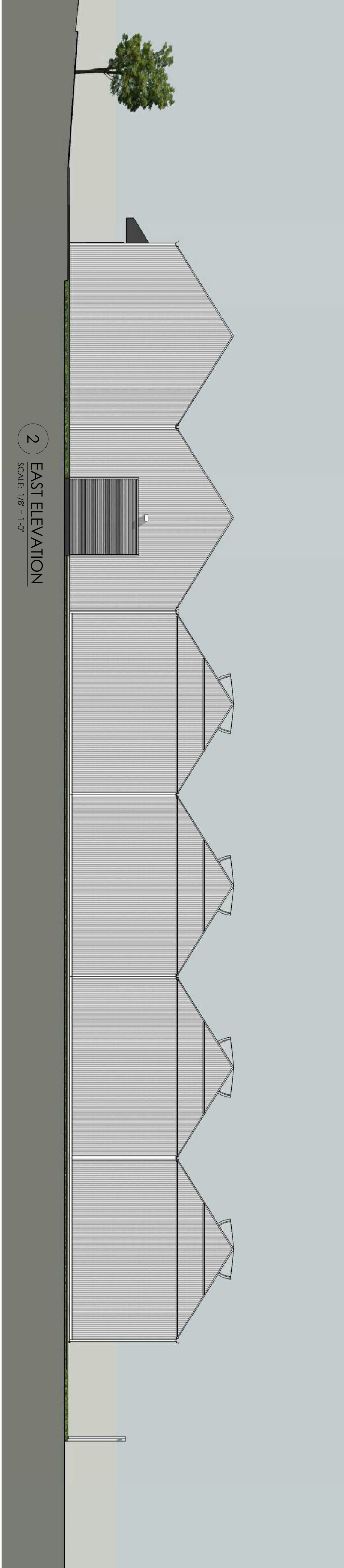
1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"